



Sheet list	
Cover sheet	01
Internal axonometric	02
BCA compliance	03
BASIX certificate	04
Demolition plan	05
Site plan	06
Site analysis plan	07
Existing ground floor plan	08
Demolish/Proposed Ground floor plan	09
Front elevation & Rear elevation	10
Section/s	11
Doors & Windows schedule	12
Shadow diagram June 21st 9am	13
Shadow diagram June 21st 12pm	14
Shadow diagram June 21st 3pm	15
Site/Waste management plan	16
Erosion & Sediment control	17
Landscape plan	18
Landscape details	19
Neighbour Notification Plan	20

Purpose: **Development application only (DA)**

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Project number

928885068

56 Bransgrove Rd, Revesby NSW 2212

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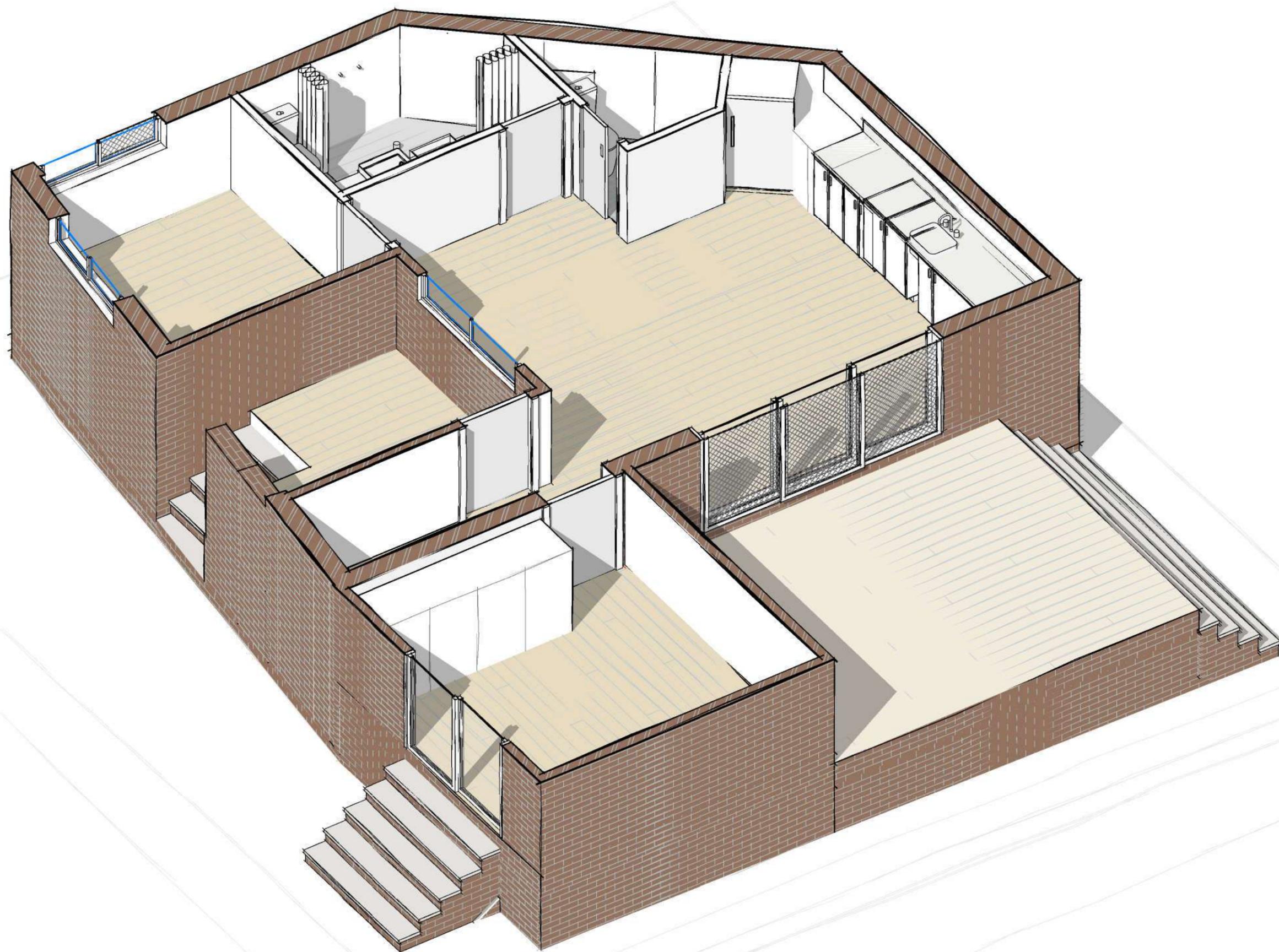
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Internal axonometric

The drawing is for **Development application only (DA)**
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Drawing	Internal axonometric				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	02
				Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date
22.02.21
22.05.16
22.08.02
22.09.08

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Building Code of Australia (BCA) compliance

General provisions

Part A6 Building classifications:

A6.1 Class 1 buildings

A Class 1 building includes one or more of the following sub-classifications:

- (1) Class 1a is one or more buildings, which together form a single dwelling including the following:
 - (a) A detached house.
 - (b) One of a group of two or more attached dwellings, each being a building, separated by a *fire-resisting wall*, including a row house, terrace house, town house or villa unit.
- (2) Class 1b is one or more buildings which together constitute—
 - (a) a boarding house, guest house, hostel or the like that—
 - (i) would ordinarily accommodate not more than 12 people; and
 - (ii) have a total area of all floors not more than 300 m² (measured over the enclosing walls of the building or buildings); or
 - (b) four or more single dwellings located on one allotment and used for short-term holiday accommodation.

A6.10 Class 10 buildings and structures

A Class 10 building includes one or more of the following sub-classifications:

- (1) Class 10a is a non-habitable building including a *private garage*, carport, shed or the like.
- (2) Class 10b is a structure that is a fence, mast, antenna, retaining wall or free-standing wall or *swimming pool* or the like.
- (3) Class 10c is a *private bushfire shelter*. See Figure 3.

Part 2.2 Damp and weatherproofing

Explanatory information:

Objective

O2.2

The Objective is to—

- (a) safeguard occupants from illness or injury and protect the building from damage caused by—
 - (i) *surface water*; and
 - (ii) external moisture entering a building; and
 - (iii) the accumulation of internal moisture in a building; and
 - (iv) discharge of *swimming pool* waste water; and
- (b) protect *other property* from damage caused by—
 - (i) redirected *surface water*; and
 - (ii) the discharge of *swimming pool* waste water.

Functional statements

F2.2.1 Surface water

A building including any associated *sitework* is to be constructed in a way that protects people and *other property* from the adverse effects of redirected *surface water*.

F2.2.2 Weatherproofing and dampness

A building is to be constructed to provide resistance to moisture from the outside and moisture rising from the ground.

Limitation:

F2.2.2 does not apply to a Class 10 building except where its construction contributes to the weatherproofing of the Class 1 building.

F2.2.3 Drainage from swimming pools

Adequate means for the disposal of *swimming pool* water and drainage is to be provided to a *swimming pool*.

Part 3.7.1 Fire properties for materials and construction

Automatic fire detection system to be provided in accordance with part.

Appropriate Performance Requirements

Where an alternative fire property for materials and construction is proposed as a *Performance Solution* to that described in Part 3.7.1, that proposal must comply with—

- (a) *Performance Requirement* P2.3.1; and
- (b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.

3.7.1.1 General concession — non-combustible materials

The following materials, though *combustible* or containing *combustible* fibres, may be used wherever a *non-combustible* material is required in the *Housing Provisions*:

- (a) Plasterboard.
- (b) Perforated gypsum lath with a normal paper finish.
- (c) Fibrous-plaster sheet.
- (d) Fibre-reinforced cement sheeting.
- (e) Pre-finished metal sheeting having a *combustible* surface finish not exceeding 1 mm thick and where the *Spread-of-Flame Index* of the product is not more than 0.
- (f) *Sarking-type materials* that do not exceed 1 mm in thickness and have a *flammability index* not greater than 5.
- (g) Bonded laminated materials where—
 - (i) each lamina, including any core, is *non-combustible*; and
 - (ii) each adhesive layer does not exceed 1 mm in thickness and the total thickness of the adhesive layers does not exceed 2 mm; and
 - (iii) the *Spread-of-Flame Index* and the *Smoke-Developed Index* of the bonded laminated material as a whole do not exceed 0 and 3 respectively.

3.7.1.2 Fire hazard properties

The fire hazard properties of materials used in a Class 1 building, including floor or ceiling spaces common with a Class 10 building, must comply with the following:

- (a) *Sarking-type materials* used in the roof must have a *flammability index* not greater than 5.
- (b) Flexible ductwork used for the transfer of products initiating from a heat source that contains a flame must comply with the fire hazard properties set out in AS 4254.1.

Part 3.7.2 Fire separation of external walls

Appropriate Performance Requirements

Where an alternative fire separation design is proposed as a *Performance Solution* to that described in Part 3.7.2, that proposal must comply with—

- (a) *Performance Requirement* P2.3.1; and
- (b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.

3.7.2.1 Application

Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.3.1 for fire separation.

3.7.2.2 External walls of Class 1 buildings

An *external wall* of a Class 1 building, and any openings in that wall, must comply with 3.7.2.4 if the wall is less than—

- (a) 900 mm from an allotment boundary other than the boundary adjoining a road alignment or other public space; or
- (b) 1.8 m from another building on the same allotment other than a Class 10 building associated with the Class 1 building or a detached part of the same Class 1 building.

3.7.2.3 Measurement of distances

- (a) The distance from any point on an *external wall* of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or *external wall* of the other building which intersects that point without being obstructed by a wall complying with 3.7.2.4.
- (b) Where a wall within a specified distance is *required* to comply with 3.7.2.4, only that part of the wall (including any openings) within the specified distance need be constructed in that manner. (see Figure 3.7.2.1, Figure 3.7.2.2a and Figure 3.7.2.2b)
- (c) Where the distance measured is between attached or detached buildings of different heights, the distance must be taken from the *external wall* with the highest elevation measured at right angles to a point that intersects the nearest part of a vertical projection above the adjacent building, excluding any eave overhang (see Figure 3.7.2.2b).

3.7.2.4 Construction of external walls

- (a) *External walls* (including gables) *required* to be *fire-resisting* (referred to in 3.7.2.2 or 3.7.2.5 must—
 - (i) commence at the footings or ground slab, except where the *external wall* commences above a *separating wall* complying with 3.7.3.2 (see Figure 3.7.2.2b); and
 - (ii) extend to—
 - (A) the underside of a *non-combustible* roof covering, except that a wall may terminate not more than 200 mm from the underside of a *non-combustible* roof covering, where the area between the *external wall* and underside of the roof covering is sealed with a *non-combustible* fascia, gutter or flashing; or
 - (B) the underside of a *non-combustible* eaves lining (See Figure 3.7.2.3); and
 - (iii) be constructed in accordance with (b).
- (b) A wall *required* by (a) must—
 - (i) have an FRL of not less than 60/60/60 when tested from the outside; or
 - (ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90 mm thick; or
 - (iii) be of masonry construction not less than 90 mm thick.
- (c) Openings in *external walls required* to be *fire-resisting* (referred to in 3.7.2.2 or 3.7.2.5) must be protected by—
 - (i) non-openable fire *windows* or other construction with an FRL of not less than -/60/-; or
 - (ii) *self-closing* solid core doors not less than 35 mm thick.
- (d) The requirements (c) do not apply to a *window* in a non-habitable room that is located adjacent to and not less than 600 mm from the boundary of an adjoining allotment or 1200 mm from another building on the same allotment provided that—
 - (i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2 m²; or
 - (ii) in a room other than one referred to in (i), the opening has an area of not more than 0.54 m² and—
 - (A) the *window* is steel-framed, there are no opening sashes and it is glazed in wired glass; or
 - (B) the opening is enclosed with translucent hollow glass blocks.
- (e) Subfloor vents, roof vents, weepholes, control joints, construction joints and penetrations for pipes, conduits and the like need not comply with (c).

3.7.2.5 Class 10a buildings

- (a) A Class 1 building must be protected by a method in—
 - (i) Figure 3.7.2.4 where a Class 10a building is located between or adjacent to a Class 1 building and a boundary alignment that is not a boundary with a road alignment or other public space; or
 - (ii) Figure 3.7.2.5 where a Class 10a building is located between or adjacent to a Class 1 building it is associated with and another building on the same allotment; or
 - (iii) Figure 3.7.2.6 where two or more Class 10a buildings on the same allotment are located between and are associated with different Class 1 buildings.

- (b) A Class 10a building must not significantly increase the risk of spread of fire between Class 2 to 9 buildings.

Part 3.7.3 Fire protection of separating walls and floors

Appropriate Performance Requirements

Where an alternative fire separation design is proposed as a *Performance Solution* to that described in Part 3.7.3, that proposal must comply with—

- (a) *Performance Requirement* P2.3.1; and
- (b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.

3.7.3.1 Application

Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.3.1 for protection of separating walls and floors.

3.7.3.2 Separating walls

- (a) A *separating wall* between Class 1 buildings, or a wall that separates a Class 1 building from a Class 10a building which is not associated with the Class 1 building must—
 - (i) have either—
 - (A) an FRL of not less than 60/60/60; or
 - (B) be of masonry construction not less than 90 mm thick; and
 - (ii) commence at the footings or ground slab (see Figure 3.7.3.1), except for horizontal projections to which 3.7.3.5 applies (see Figure 3.7.3.4); and
 - (iii) extend—
 - (A) if the building has a *non-combustible* roof covering, to the underside of the roof covering (see Figure 3.7.3.1 and Figure 3.7.3.2); or
 - (B) if the building has a *combustible* roof covering, to not less than 450 mm above the roof covering (see Figure 3.7.3.1); and
 - (iv) comply with (b) to (e) and 3.7.3.3 as applicable.

- (b) A *separating wall* of *lightweight construction* must be tested in accordance with Specification C1.8 of the NCC Volume One.
- (c) A *separating wall* complying with (a)(iii)(A)—
 - (i) must not be crossed by timber or other *combustible* building elements except for roof battens with dimensions of 75 x 50 mm or less, or roof sarking; and
 - (ii) must have any gap between the top of the wall and the underside of the roof covering packed with mineral fibre or other suitable *fire-resisting* material.
- (d) Where a building has a masonry veneer *external wall*, any gap between the *separating wall* and the external masonry veneer must be—
 - (i) not more than 50 mm; and
 - (ii) packed with a mineral fibre or other suitable fire resistant material with the packing arranged to maintain any weatherproofing requirements of Part 3.3.4.
- (e) Eaves, verandahs and similar spaces that are open to the roof space and are common to more than one Class 1 dwelling must be separated by a *non-combustible* vertical lining (see Figure 3.7.3.2 Diagram b).

Part 3.7.5 Smoke alarms and evacuation lighting

Appropriate Performance Requirements

Where an alternative smoke alarm or lighting to assist evacuation system is proposed as a *Performance Solution* to that described in Part 3.7.5, that proposal must comply with—

- (a) *Performance Requirement* P2.3.2; and
- (b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.

3.7.5.1 Application

- (a) Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.3.2 for smoke alarms.
- (b) For the purposes of this Part, a Class 1 building includes a Class 10a *private garage* located above or below the Class 1 building.

3.7.5.2 Smoke alarm requirements

Smoke alarms must—

- (a) be located in—
 - (i) Class 1a buildings in accordance with 3.7.5.3 and 3.7.5.5; and
 - (ii) Class 1b buildings in accordance with 3.7.5.4 and 3.7.5.5.
- (b) comply with AS 3786, except that in a Class 10a *private garage* where the use of the area is likely to result in smoke alarms causing spurious signals, any other alarm deemed suitable in accordance with AS 1670.1 may be installed provided that smoke alarms complying with AS 3786 are installed elsewhere in the Class 1 building; and
- (c) be powered from the consumer mains source where a consumer mains source is supplied to the building; and
- (d) be interconnected where there is more than one alarm.

Part 3.8.1 Wet areas and external waterproofing

Wet areas within the building must comply with the requirements of part

Appropriate Performance Requirements

- (a) Where an alternative system for external *waterproofing* a roof or external wall of a building is proposed as a *Performance Solution* to that described in Part 3.8.1, that proposal must comply with—
 - (i) *Performance Requirement* P2.2.2; and
 - (ii) the relevant *Performance Requirements* determined in accordance with A2.4(3).
- (b) Where an alternative system for protecting *wet areas* in a building is proposed as a *Performance Solution* to that described in Part 3.8.1, that proposal must comply with—
 - (i) *Performance Requirement* P2.4.1; and
 - (ii) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.

3.8.1.1 Application

Compliance with this acceptable construction practice satisfies *Performance Requirements* P2.2.2 for external *waterproofing* and P2.4.1 for *wet areas*.

3.8.1.2 Wet Areas

Building elements in *wet areas* within a building must—

- (a) be *waterproof* or *wet resistant* in accordance with Table 3.8.1.1; and
- (b) comply with AS 3740.

Part 3.8.6 Sound insulation

Appropriate Performance Requirements

Where an alternative sound insulation system is proposed as a *Performance Solution* to that described in Part 3.8.6, that proposal must comply with—

- (a) *Performance Requirement* P2.4.6; and
- (b) the relevant *Performance Requirements* determined in accordance with A2.2(3) and A2.4(3) as applicable.

3.8.6.1 Application

Compliance with this acceptable construction practice satisfies *Performance Requirement* P2.4.6 for sound insulation.

3.8.6.2 Sound insulation requirements

- (a) A *separating wall* between Class 1 buildings, or a wall that separates a Class 1 building from a Class 10a building which is not associated with the Class 1 building must—
 - (i) have an Rw + Ctr (airborne) not less than 50; and
 - (ii) be of *discontinuous construction* if it separates a bathroom, *sanitary compartment*, laundry or kitchen in one Class 1 building from a *habitable room* (other than a kitchen) in an adjoining Class 1 building (see Figure 3.8.6.1).
- (b) For the purposes of (a)(ii), *discontinuous construction* means a wall system that has two separate leaves and that is not a staggered stud wall, that complies with the following:
 - (i) The wall has a minimum 20 mm cavity between leaves.
 - (ii) For masonry walls, where wall ties are *required* to connect leaves, the ties are of the resilient type.
 - (iii) For walls other than masonry, there is no mechanical linkage between leaves except at the periphery.
- (c) A wall *required* to have sound insulation must continue to—
 - (i) the underside of the roof above; or
 - (ii) a ceiling that provides the sound insulation *required* for the wall.

Part 3.9: Safe movement and access

The treads and risers of the proposed stairs are to comply with Part 3.9.1.2 general requirements.

Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
13	K	As council letter 22.07.19	22.08.02
14	L	Council request	22.09.08

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Drawing	BCA compliance				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	03
				Size	A3

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A436622_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number A436622_03 lodged with the consent authority or certifier on 08 Apr 2022 with application PAN-250541.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Sch 1 Cl 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary
Date of issue: Wednesday, 10, August 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	928885068 Romeo 56 Bransgrove Rd_04
Street address	56 Bransgrove Road Revesby 2212
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan 16675
Lot number	10
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: VNdraft PTY LTD
ABN (if applicable): 87625554252

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓ ✓ ✓	✓ ✓ ✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓												
<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>concrete slab on ground floor.</td> <td>nil</td> <td></td> </tr> <tr> <td>external wall: cavity brick</td> <td>nil</td> <td></td> </tr> <tr> <td>flat ceiling, flat roof: framed</td> <td>ceiling: R1.08 (up), roof: foil backed blanket (75 mm)</td> <td>medium (solar absorptance 0.475 - 0.70)</td> </tr> </tbody> </table>	Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil		external wall: cavity brick	nil		flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)			
Construction	Additional insulation required (R-value)	Other specifications													
concrete slab on ground floor.	nil														
external wall: cavity brick	nil														
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)													

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓ ✓ ✓	✓ ✓ ✓
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Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
D02	N	3.69	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W03	N	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W04	E	1.8	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
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Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
						U-value: 7.63, SHGC: 0.75)
W05	E	0.36	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
W09	SE	0.36	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
W08	SE	0.36	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)
W07	S	1.44	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W06	S	1.08	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D01	W	6.3	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W01	W	1.08	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	N	0.68	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Legend In these commitments, "applicant" means the person carrying out the development. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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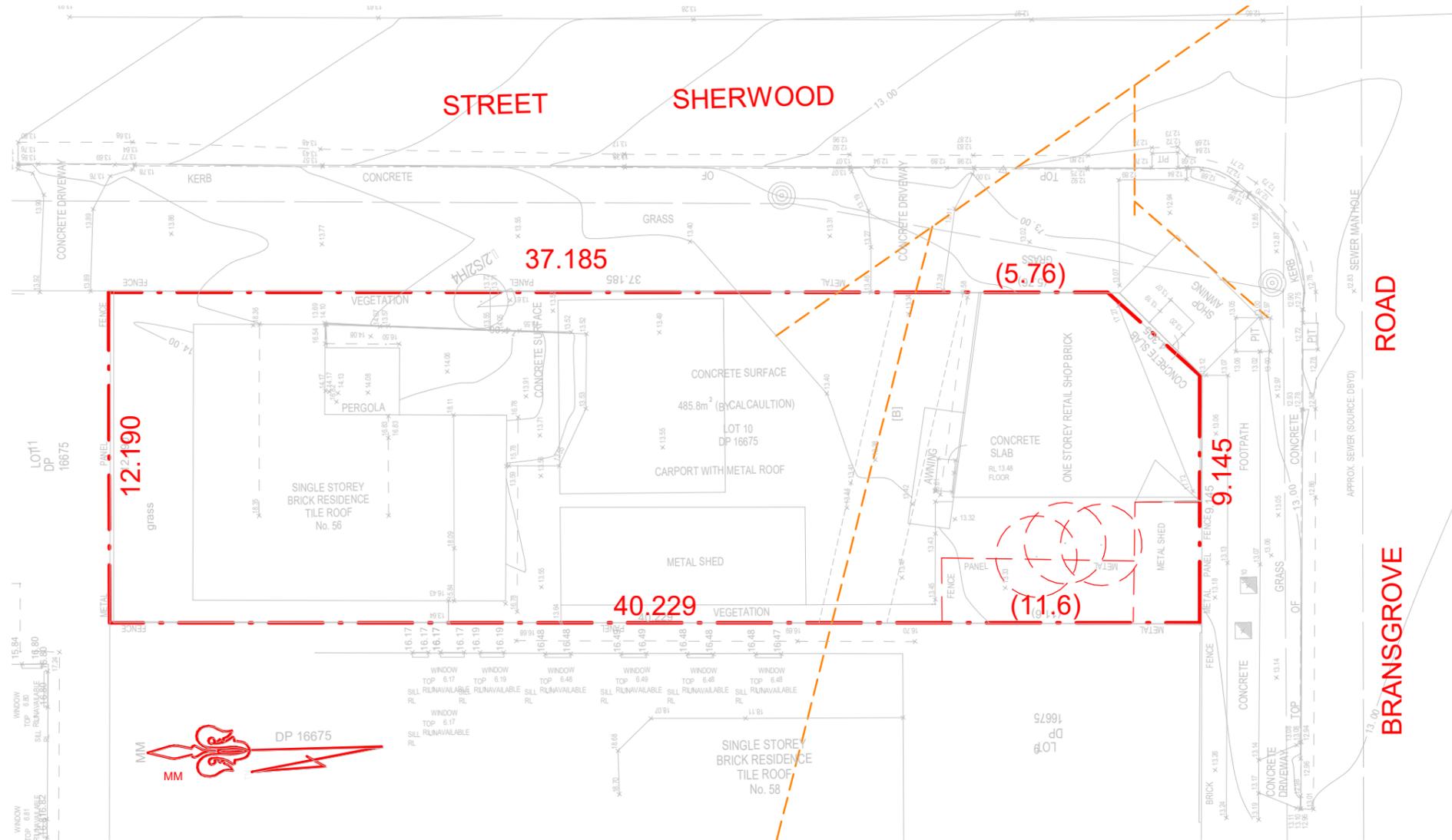
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Drawing	BASIX certificate	Sequence	Version	Issued	Date
Address	56 Bransgrove Rd, Revesby NSW 2212	11	I	Update impervious area	22.02.21
Project	928885068	12	J	As council letter 22.04.26	22.05.16
Client	Van	13	K	As council letter 22.07.19	22.08.02
Sheet	04	14	L	Council request	22.09.08
Size	A3				

Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
13	K	As council letter 22.07.19	22.08.02
14	L	Council request	22.09.08

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Demolition plan



- Boundary line
- To be demolished

Legend

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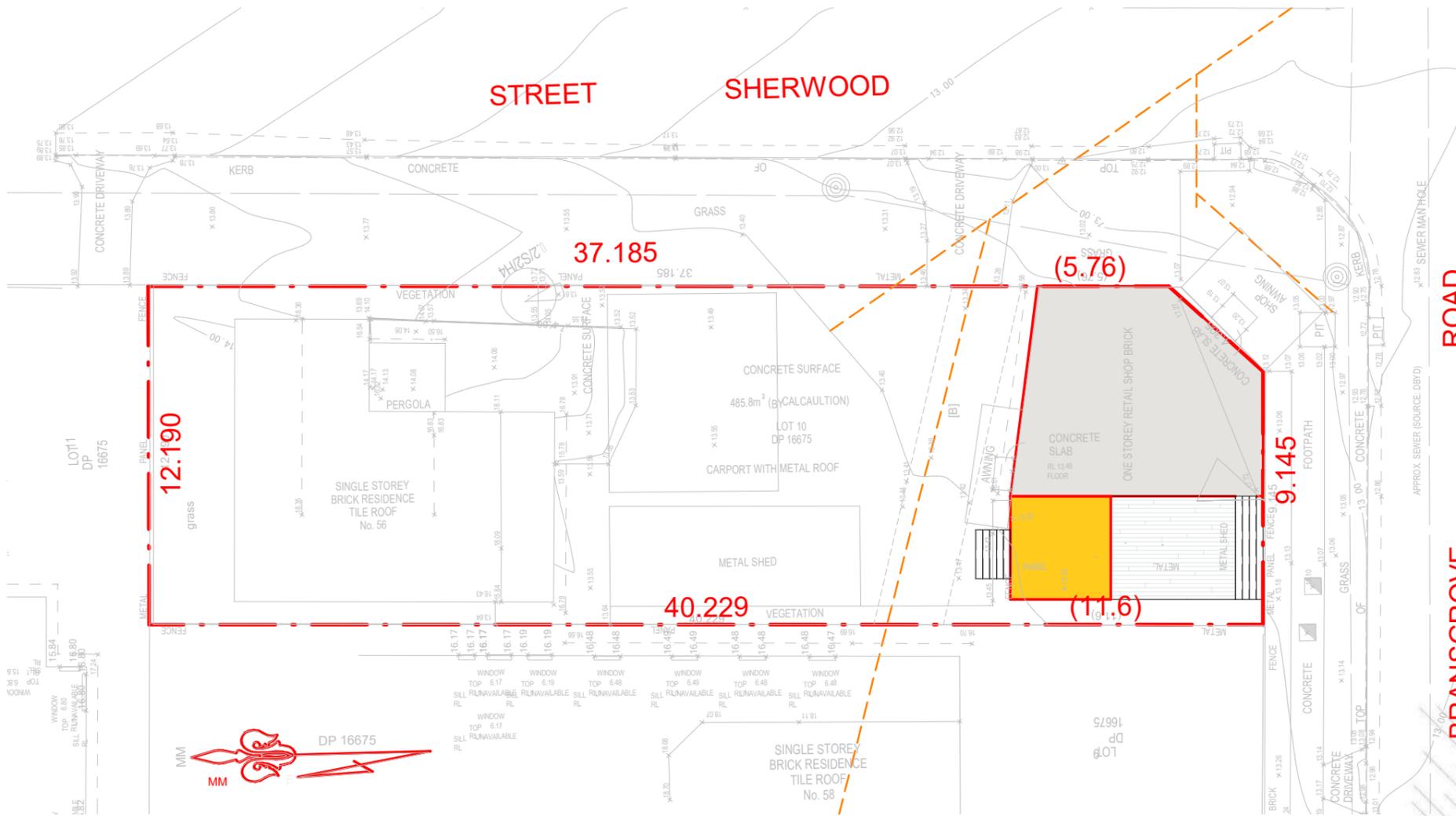
Drawing	Demolition plan
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	05
Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date
22.02.21
22.05.16
22.08.02
22.09.08

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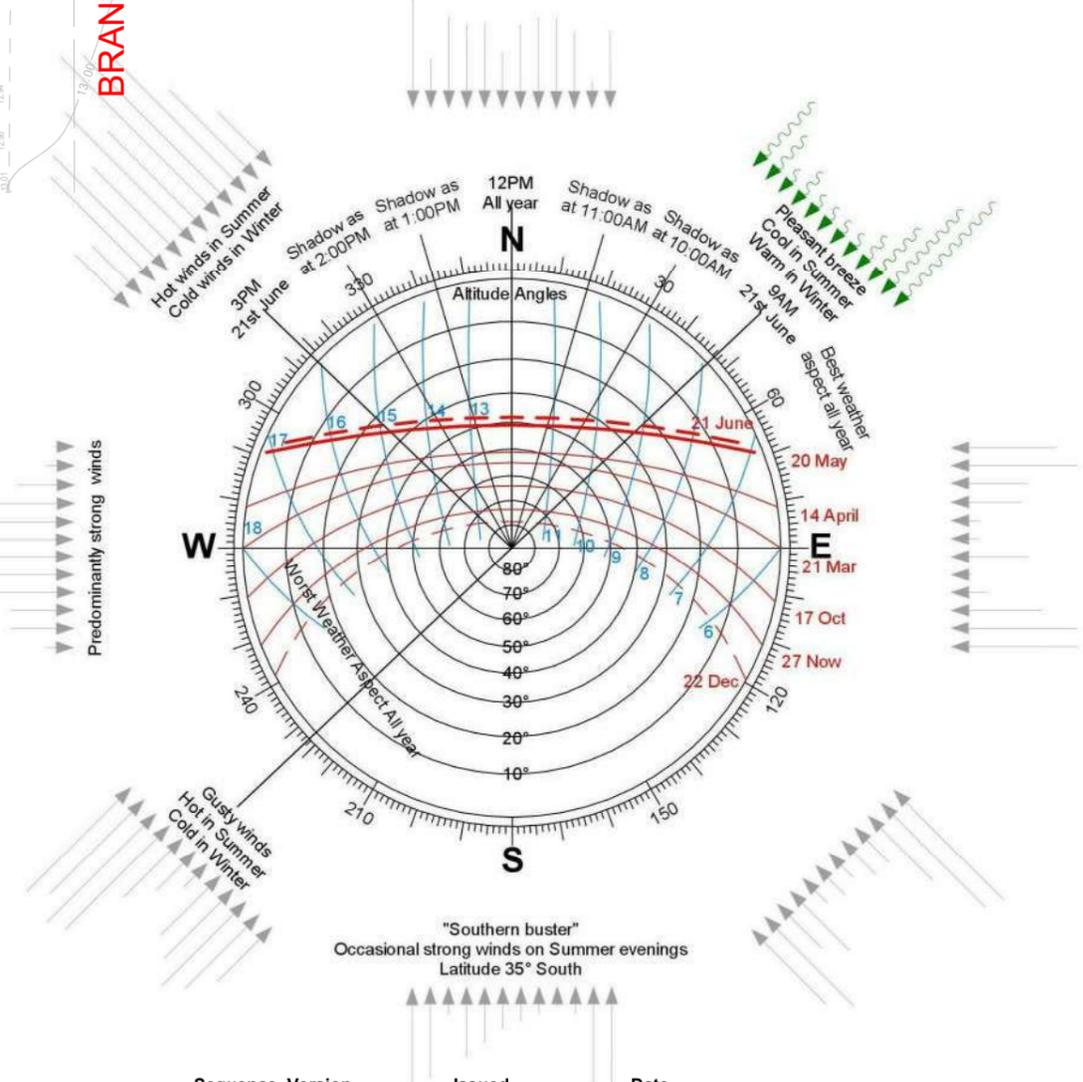
Site analysis legend

- Wind direction
- Boundary line
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope

Site analysis plan

Scale: 1 : 200

Climatic site analysis



Note

- The wind rose shown corresponds with the 12 months in the year
- The lines are read in a clockwise direction
- The length of the line is proportionate to the frequency (% of time) of the wind from that direction in that month
- 9am shown in black & 1pm shown in red
- The sun path diagram shown in the centre of the wind rose indicates the path scribed by the sun during different periods of the year
- The hours of the day are shown in blue
- The months of the year are indicated using the red lines
- The concentric circles indicate the angles of the sun
- The Compass is based upon 'True North', from the Map Grid Australia (MGA)
- True North based on survey completed by "surveyor" surveying "date" comments are for Sydney Basin

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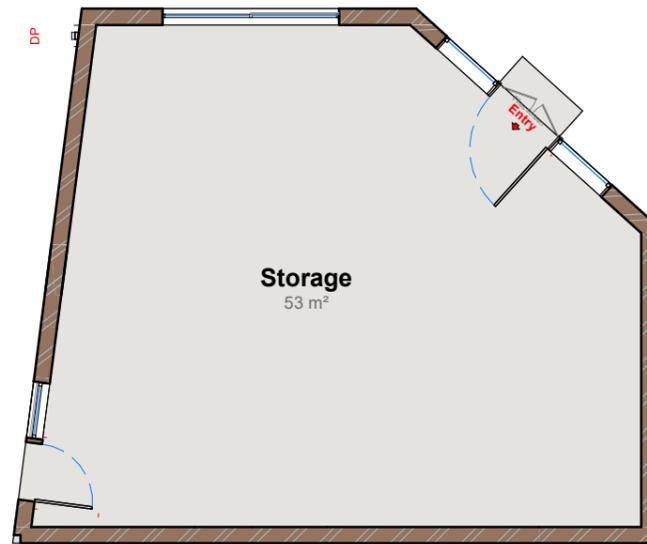
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Drawing	Site analysis plan	Sequence	Version	Issued	Date
Address	56 Bransgrove Rd, Revesby NSW 2212	11	I	Update impervious area	22.02.21
Project	928885068	12	J	As council letter 22.04.26	22.05.16
Client	Van	13	K	As council letter 22.07.19	22.08.02
Sheet	07	14	L	Council request	22.09.08
Size	A3				

Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
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14	L	Council request	22.09.08

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Existing ground floor plan



Existing works legend

Stud timber	
Framed (weatherboard/fibro/metal clad)	
Concrete block/plasterboard	
Concrete block/plasterboard	
Structure panel system	
Single cavity brick	
Double cavity brick	
Brick veneer	
Fireproof	
Solid timber or laminated product made from layers of timber, bonded together	
Concrete slab supported on foundations or directly on the subsoil	
Roof/skylight/structure above	

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Drawing	Existing ground floor plan	Sequence	Version	Issued	Date
		11	I	Update impervious area	22.02.21
		12	J	As council letter 22.04.26	22.05.16
		13	K	As council letter 22.07.19	22.08.02
		14	L	Council request	22.09.08

Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	08
				Size	A3

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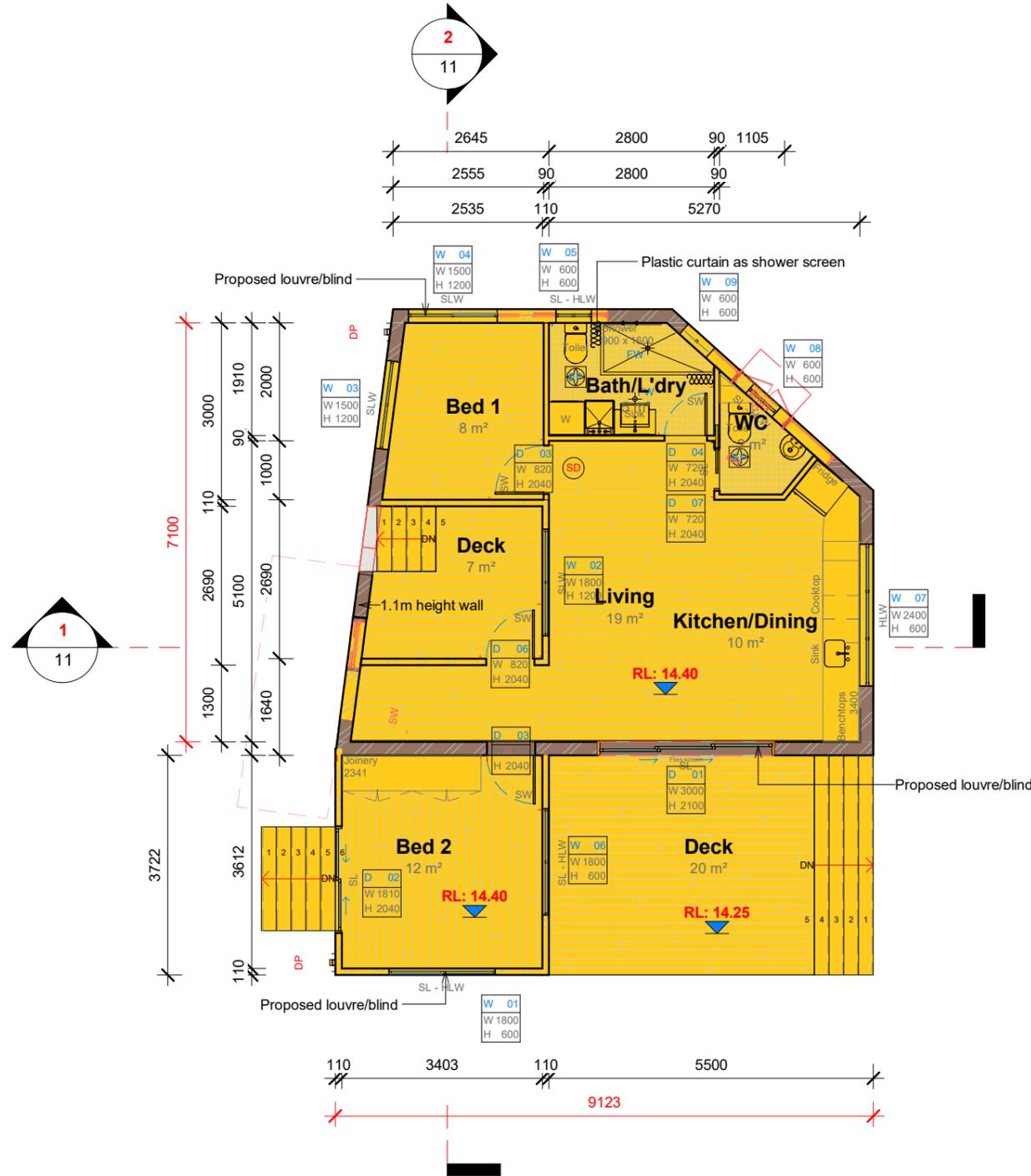


Materials legend

Double cavity brick	
Stud timber	
Single cavity brick	
Solid timber or laminated product made from layers of timber, bonded together	
Replace new finish material refer to materials schedule	
Existing colourbond roof	
New colourbond roof	

Annotate legend

Sliding window	SLW
Highlight window	SL-HLW
Sliding	SL
Single swing	SW
Double swing	DS
Floor waste	FW
Exhaust fan	EF
Smoke detector	SD
To be demolished	
D : Door W : Width H : Height	D 1 W ... H ...
Slope	0°
Downpipe	DP
Walls/floors below	
Roof/skylight/structure above	



Room schedule

Name	Area
Bath/L'dry	5 m ²
Bed 1	8 m ²
Bed 2	12 m ²
Deck	7 m ²
Deck	20 m ²
Kitchen/Dining	10 m ²
Living	19 m ²
WC	2 m ²
Grand total	84 m ²

Existing/Demolish/Proposed Ground floor plan

0 5000
Scale: 1 : 100

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Drawing	Demolish/Proposed Ground floor plan
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	09
Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

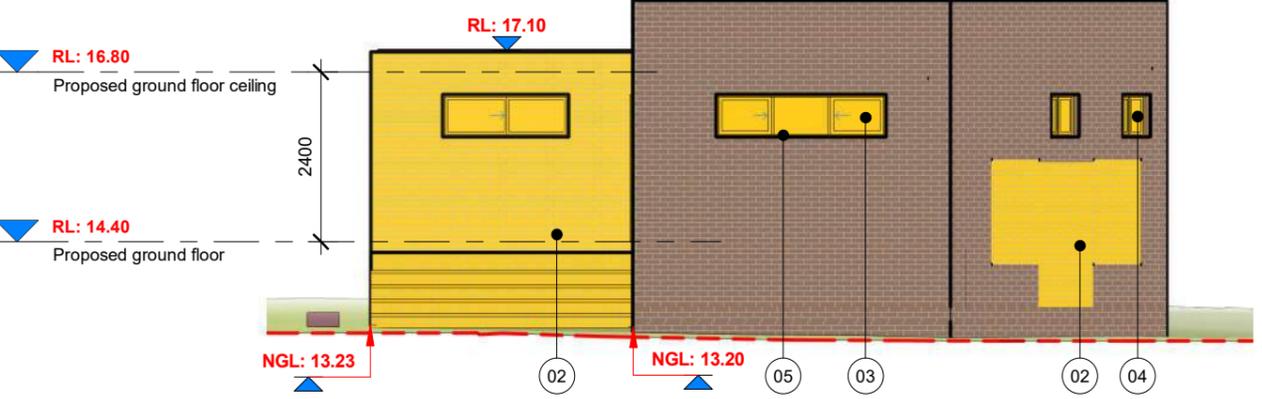
Date
22.02.21
22.05.16
22.08.02
22.09.08

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Exterior finishes schedule

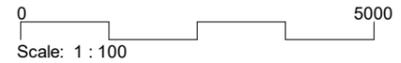
Images	Material	Description
	01	Colorbond tange as selected by owner/or similar material image
	02	Pgh balckheath, facebrick/or similar material image
	03	Glass window, door, skylight, railing/or similar material image
	04	Frosted glass WC, bath window/or similar material image
	05	Aluminium, cool gray/or similar material image
	06	Spm, translucent/or similar material image
	07	Aluminium, cool gray/or similar material image



Street elevation



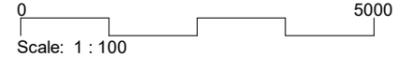
Side elevation 1



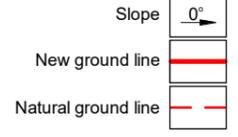
Rear elevation



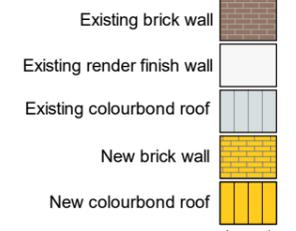
Side elevation 2



Annotate legend



Materials legend



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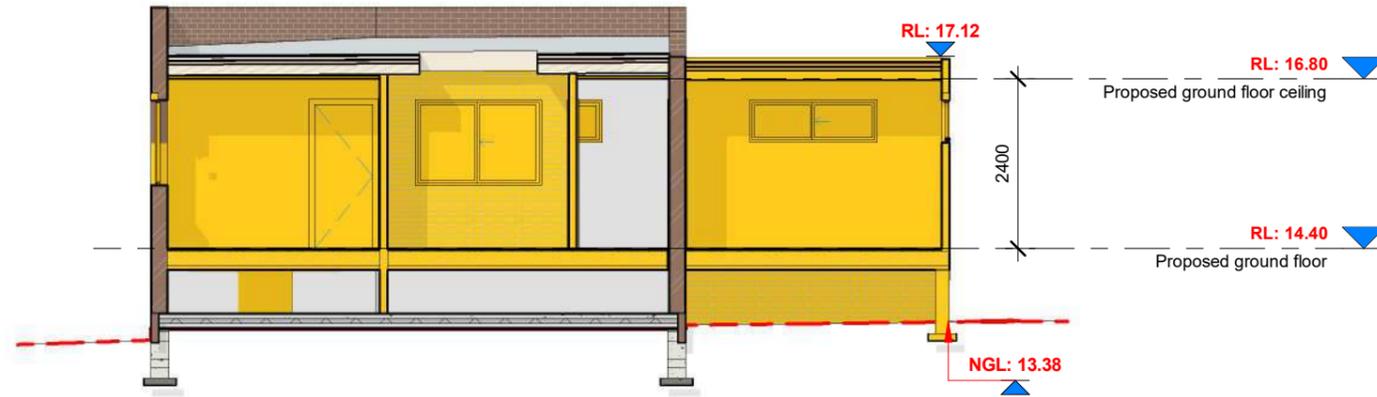
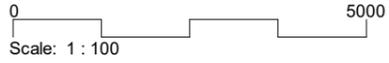
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Drawing	Front elevation & Rear elevation	Sequence	11	Version	I	Issued	Update impervious area	Date	22.02.21
Address	56 Bransgrove Rd, Revesby NSW 2212		12		J	As council letter	22.04.26		22.05.16
Project	928885068	Client	13		K	As council letter	22.07.19		22.08.02
		Van	14		L	Council request			22.09.08
Sheet	10	Size	A3						

Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter	22.04.26
13	K	As council letter	22.07.19
14	L	Council request	22.09.08

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Section 1



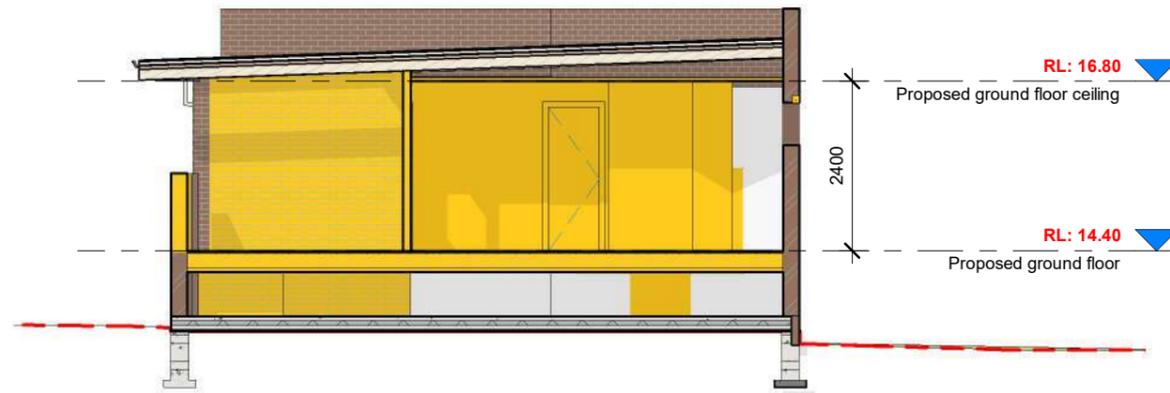
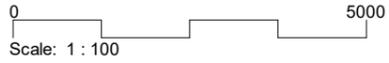
Materials legend

- Existing stud timber
- Existing double cavity brick
- Existing colourbond roof
- Existing concrete floor
- New stud timber
- New double cavity brick
- New colourbond roof
- New concrete floor

Annotate legend

- Slope 0°
- New ground line
- Natural ground line

Section 2



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Drawing	Section/s	Sequence	Version	Issued	Date
		11	I	Update impervious area	22.02.21
		12	J	As council letter 22.04.26	22.05.16
		13	K	As council letter 22.07.19	22.08.02
		14	L	Council request	22.09.08

Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	11
				Size	A3

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Window schedule

Mark	Height	Width	Sill Height	Legend	Operating type	Frame	Glass type
01	600	1800	1500	SL-HLW	Sliding (louvre/blind)	Aluminum	Single glazed, clear
02	1200	1800	900	SLW	Sliding	Aluminum	Single glazed, clear
03	1200	1500	900	SLW	Sliding	Aluminum	Single pyrolytic low-e
04	1200	1500	900	SLW	Sliding (louvre/blind)	Aluminum	Single glazed, clear
05	600	600	1500	SL-HLW	Sliding	Aluminum	Single glazed, tint
06	600	1800	1500	SL-HLW	Sliding	Aluminum	Single glazed, clear
07	600	2400	1500	SLW	Sliding	Aluminum	Single glazed, clear
08	600	600	1500	SL-HLW	Sliding	Aluminum	Single glazed, tint
09	600	600	1500	SL-HLW	Sliding	Aluminum	Single glazed, tint

Grand total: 9

Door schedule

Mark	Height	Width	Operating type	Frame	Glass type
Exterior					
01	2100	3000	Sliding (louvre/blind)	Aluminium/uPVC/Fiberglass	Single glazed, clear
02	2040	1810	Sliding	Aluminium/uPVC/Fiberglass	Single pyrolytic low-e
Interior					
03	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
04	2040	720	Normal	Timber/uPVC/Fiberglass	n/a
06	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
07	2040	720	Sliding	Timber/uPVC/Fiberglass	n/a

Grand total: 7

Operating type

Operating type	Ventilation potential	Air infiltration	Frame fraction
Hinged/ projected	High	Medium	High
Sliding	Medium	High	Medium
Fixed	None	Low	Low

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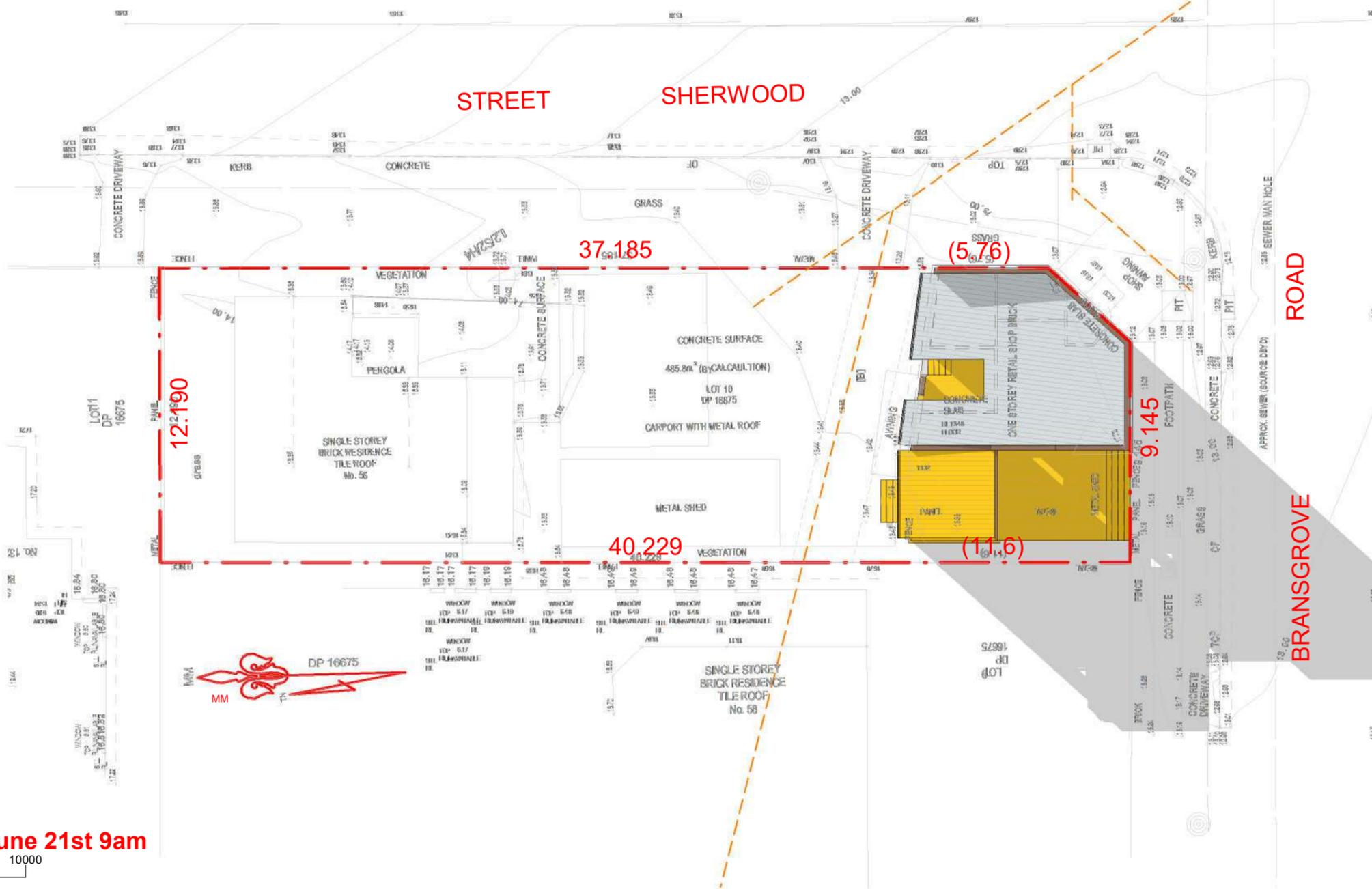
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Drawing		Doors & Windows schedule		Sequence	Version	Issued
Address	56 Bransgrove Rd, Revesby NSW 2212	11	I	Update	impervious area	22.02.21
Project	928885068	12	J	As council letter	22.04.26	22.05.16
Client	Van	13	K	As council letter	22.07.19	22.08.02
Sheet	12	14	L	Council request		22.09.08
Size	A3					

Date
22.02.21
22.05.16
22.08.02
22.09.08

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Shadow diagram June 21st 9am



Solar detailed compliance table

Min 3 hours sunlight @ 50% of POS area, Winter solstice on June 21st									
Unit	Min.open space	9 am	10 am	11 am	12 pm	1 pm	2 pm	3 pm	Sunlight average
1	40.00 sqm	100%	100%	66.20%	43.05%	0.00%	0.00%	6.87%	45.16%
2	40.00 sqm	59.57%	15.97%	0.00%	32.55%	20.60%	62.00%	99.20%	41.41%
3	40.00 sqm	10.05%	19.75%	28.62%	43.17%	61.80%	95.57%	100%	47.19%
4	40.00 sqm	59.57%	23.55%	21.20%	31.82%	4.57%	0.00%	8.82%	20.73%
5	40.00 sqm	100%	100%	100%	84.90%	6.00%	0.00%	0.00%	55.84%

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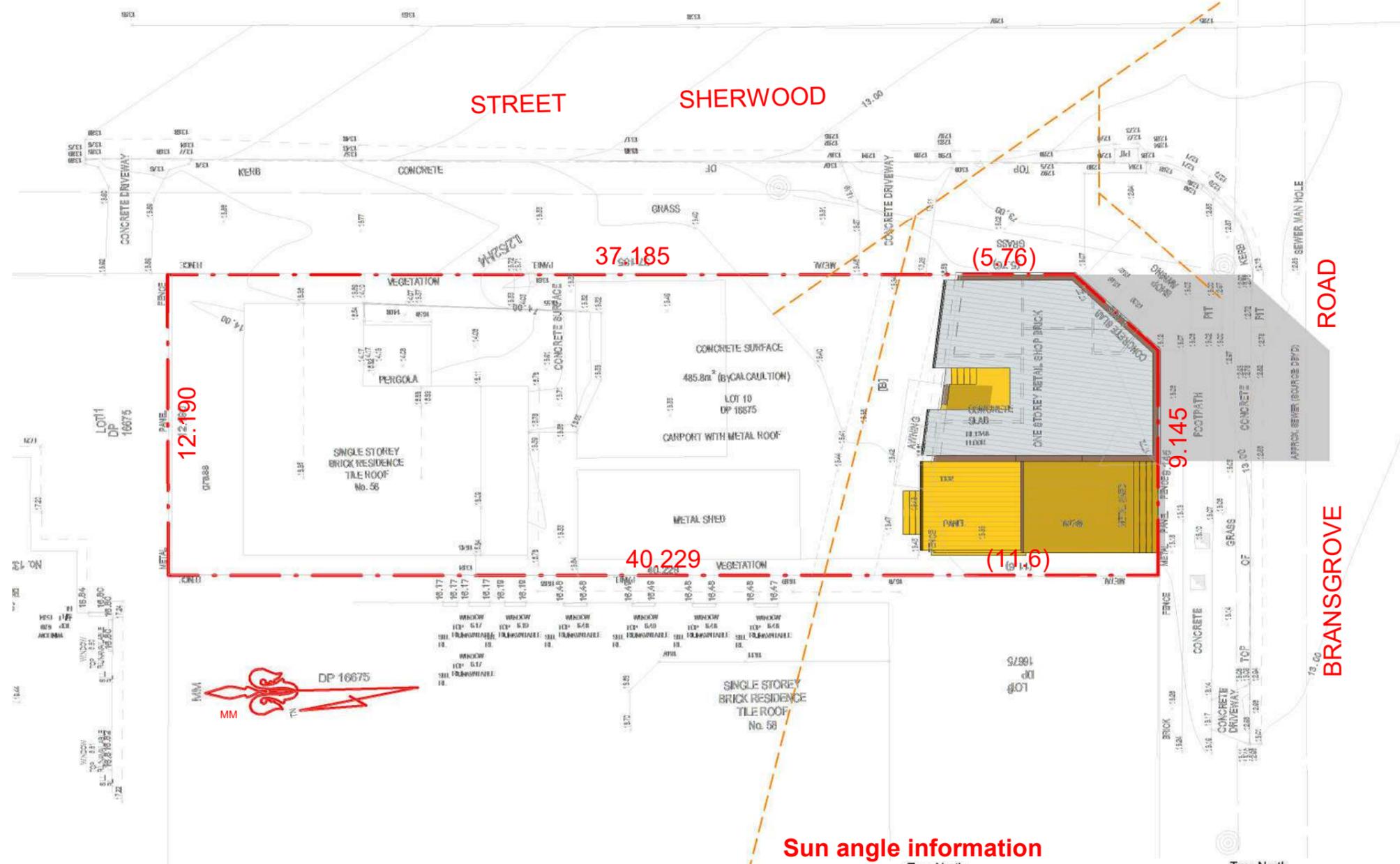
Drawing	Shadow diagram June 21st 9am
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van Sheet
Sheet	13
Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date
22.02.21
22.05.16
22.08.02
22.09.08

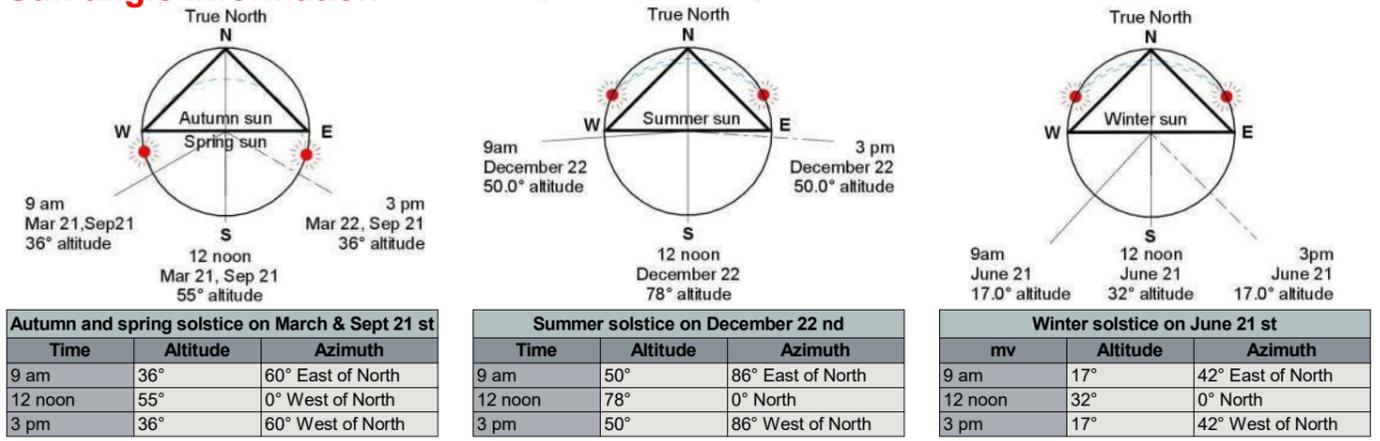
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Sun angle information

Shadow diagram June 21st 12pm
Scale: 1 : 200



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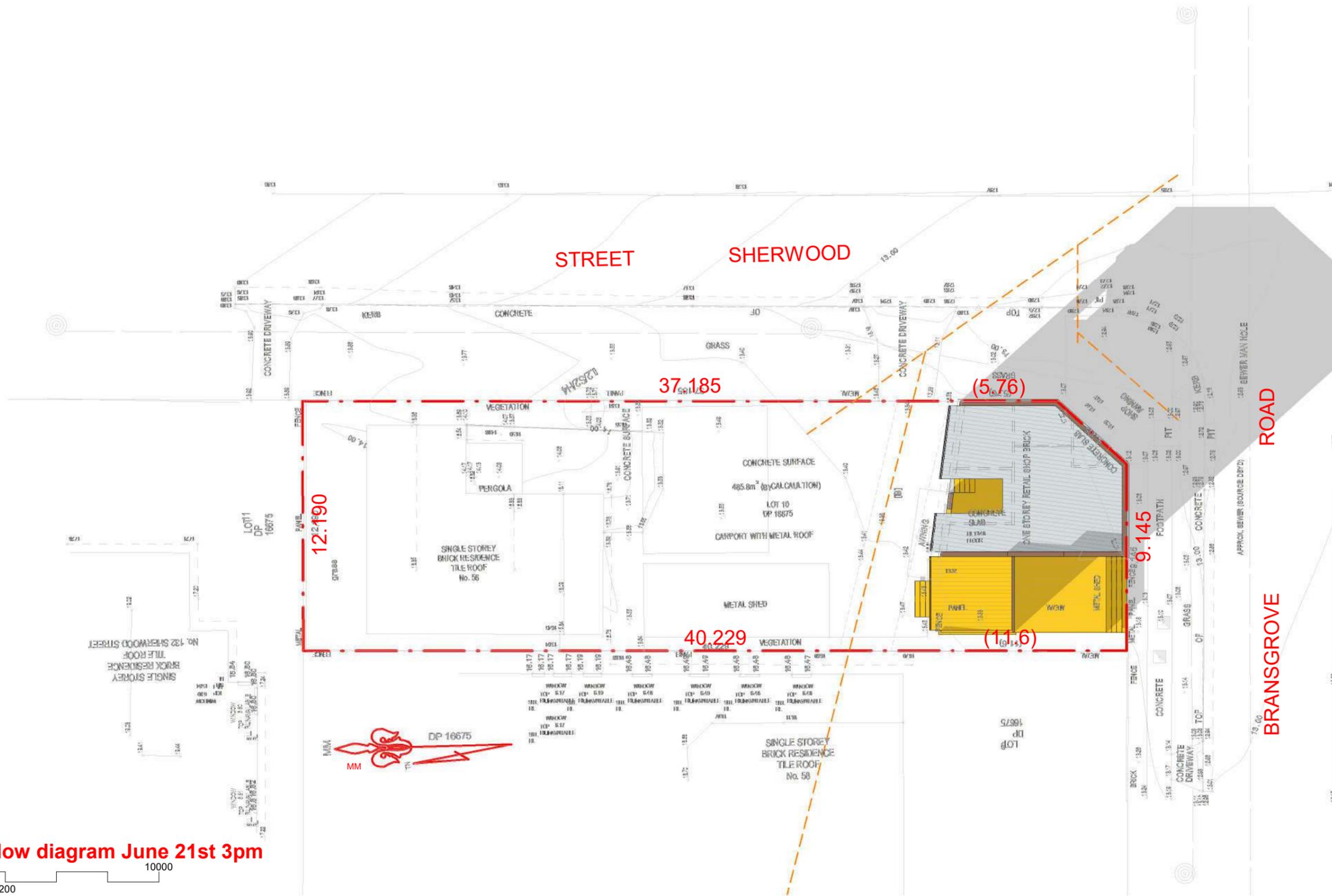
Drawing	Shadow diagram June 21st 12pm
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	14
Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date
22.02.21
22.05.16
22.08.02
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Shadow diagram June 21st 3pm

Scale: 1 : 200

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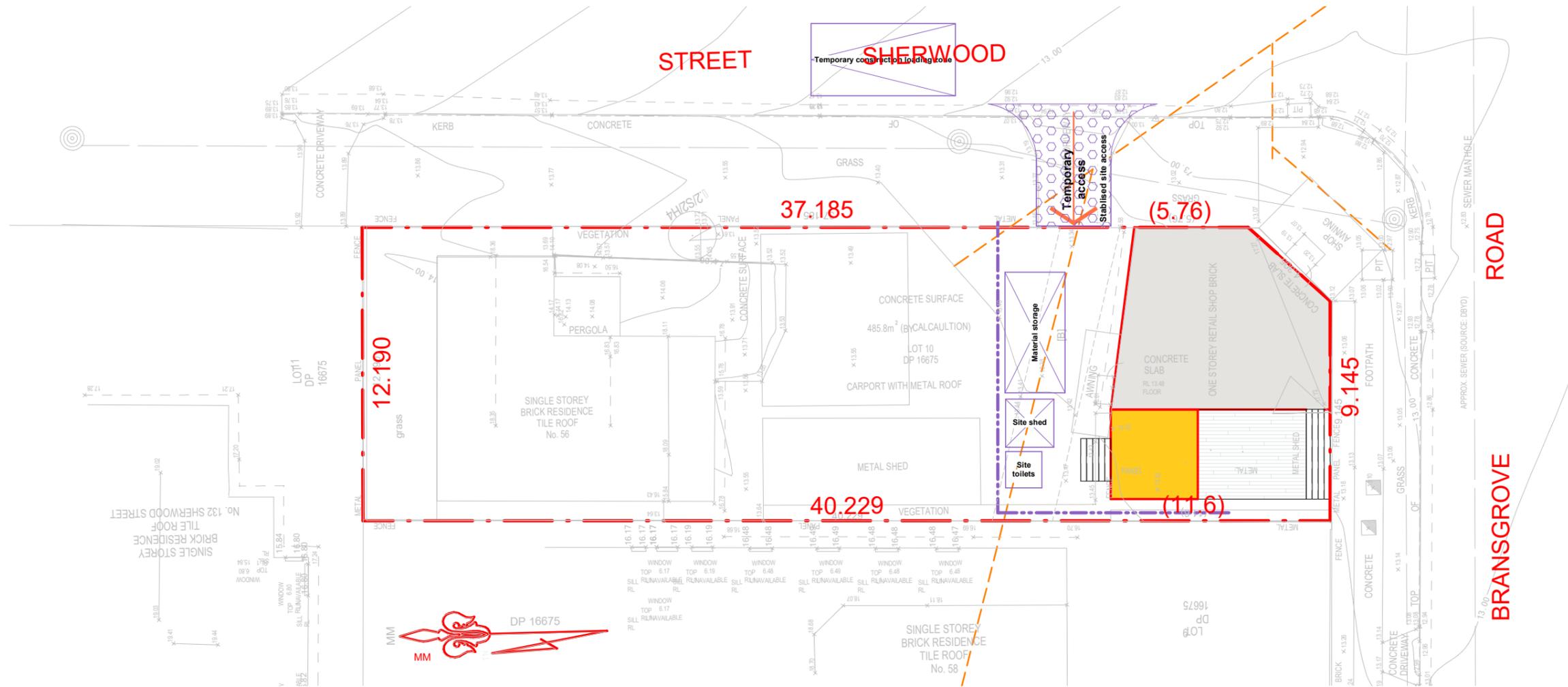
Drawing	Shadow diagram June 21st 3pm
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	15
Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

Date
22.02.21
22.05.16
22.08.02
22.09.08

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Site/Waste management plan



Sediment legend

- Boundary line
- Sedimnet 1.8m fence
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope
- Solid timber or laminated product made from layers of timber, bonded together

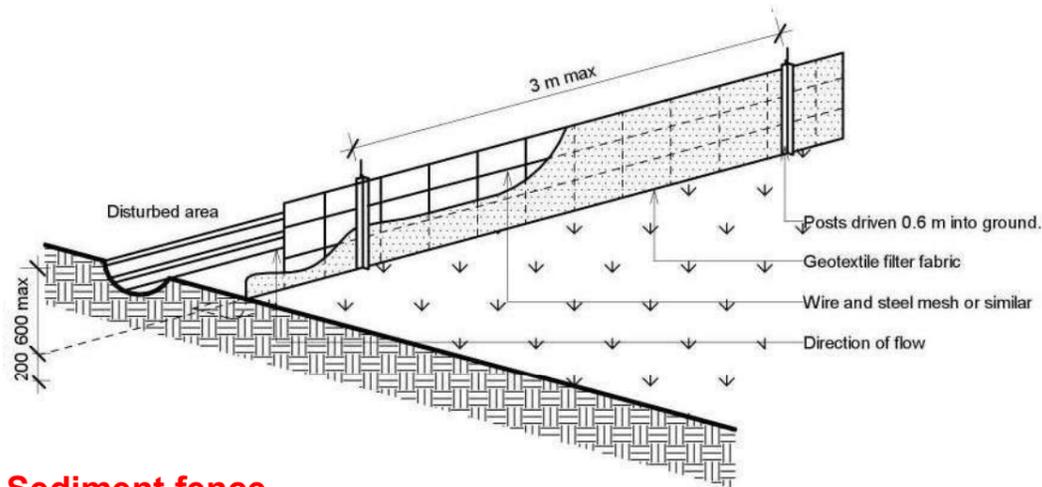
- Temporary access**
Temporary access corridor to site for (movement of people, materials, waste and machinery)
- Stabilised site access**
Vehicles carrying loose building materials to be covered in compliance with road traffic regulations. Safe access for heavy equipment plant and materials delivery, sediment controls to be placed across driveway
- Material storage**
Construction materials storage area location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill
- Temporary construction loading zone**
Temporary construction loading zone area for cranes + conc. trucks
- Site shed**
Location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill top soil, sand stockpile to be covered and protected with geotextile fabric

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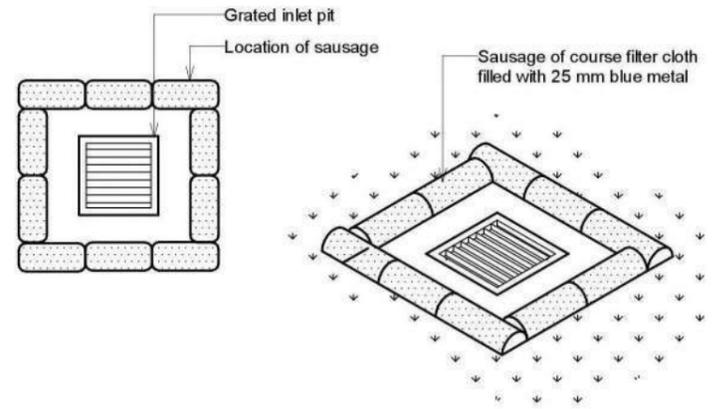
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Drawing		Site/Waste management plan	Sequence	Version	Issued	Date
Address	56 Bransgrove Rd, Revesby NSW 2212		11	I	Update impervious area	22.02.21
Project	928885068	Client	12	J	As council letter 22.04.26	22.05.16
		Van	13	K	As council letter 22.07.19	22.08.02
Sheet	16	Size	14	L	Council request	22.09.08
A3						

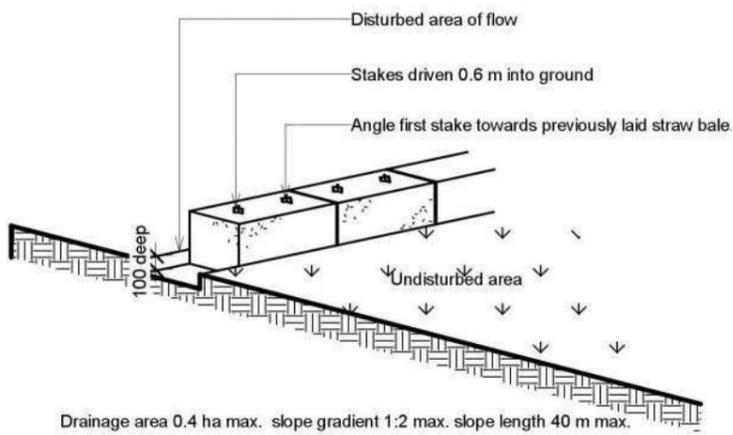
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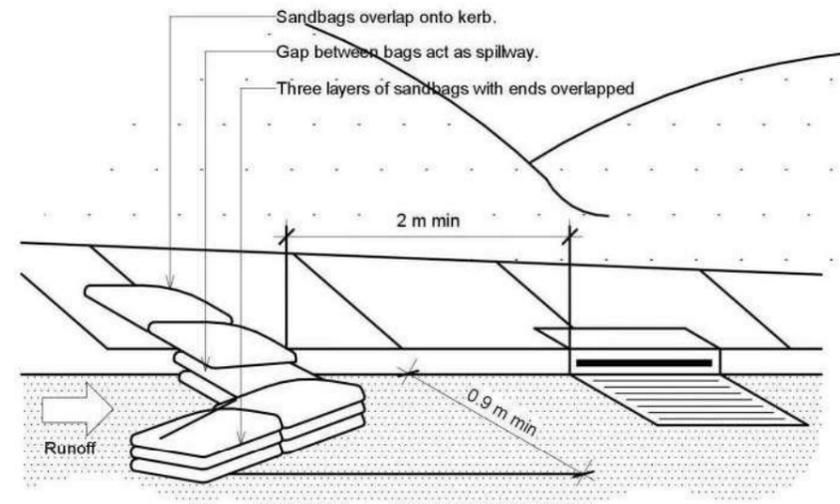
Sediment fence



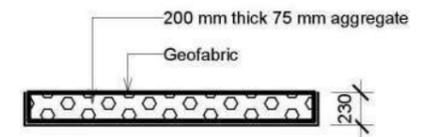
Location of sausage



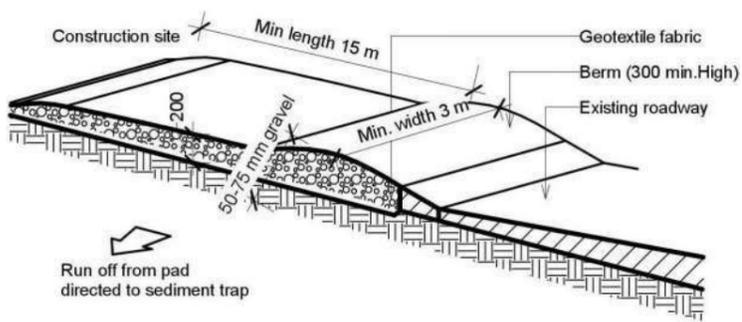
Straw bale sediment filter



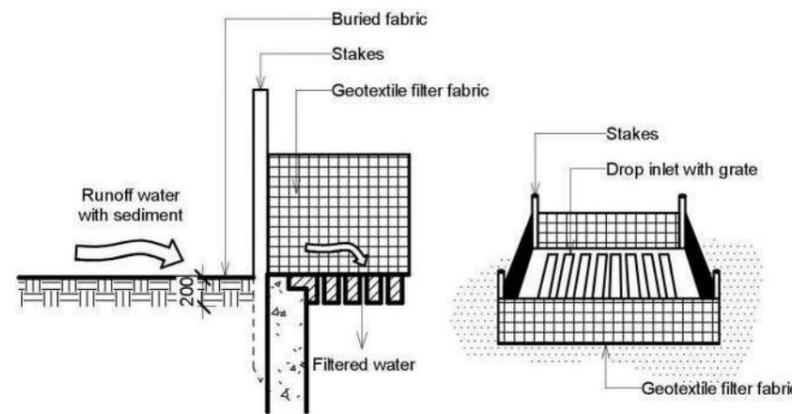
Sandbag kerb inlet sediment trap



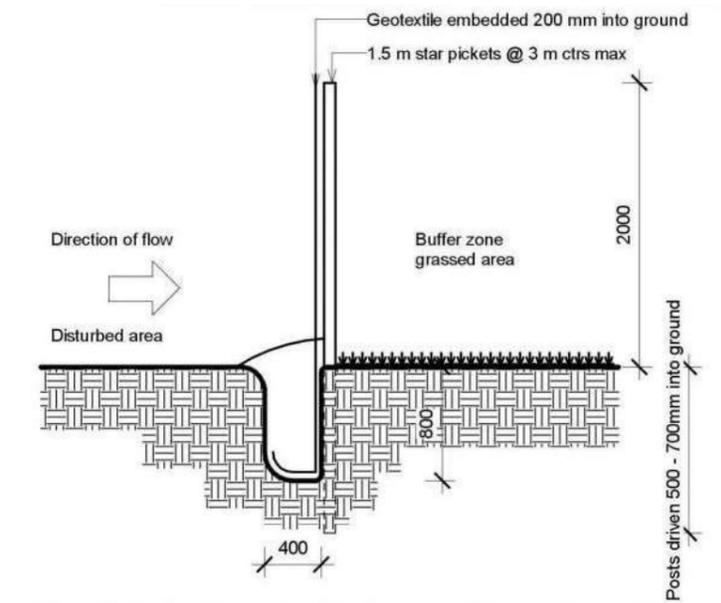
Detail of stabilised site access



Geofabric lined silt fence (Structure type A)



Geotextile filter fabric drop inlet sediment trap



Geofabric lined silt fence (Structure type A)

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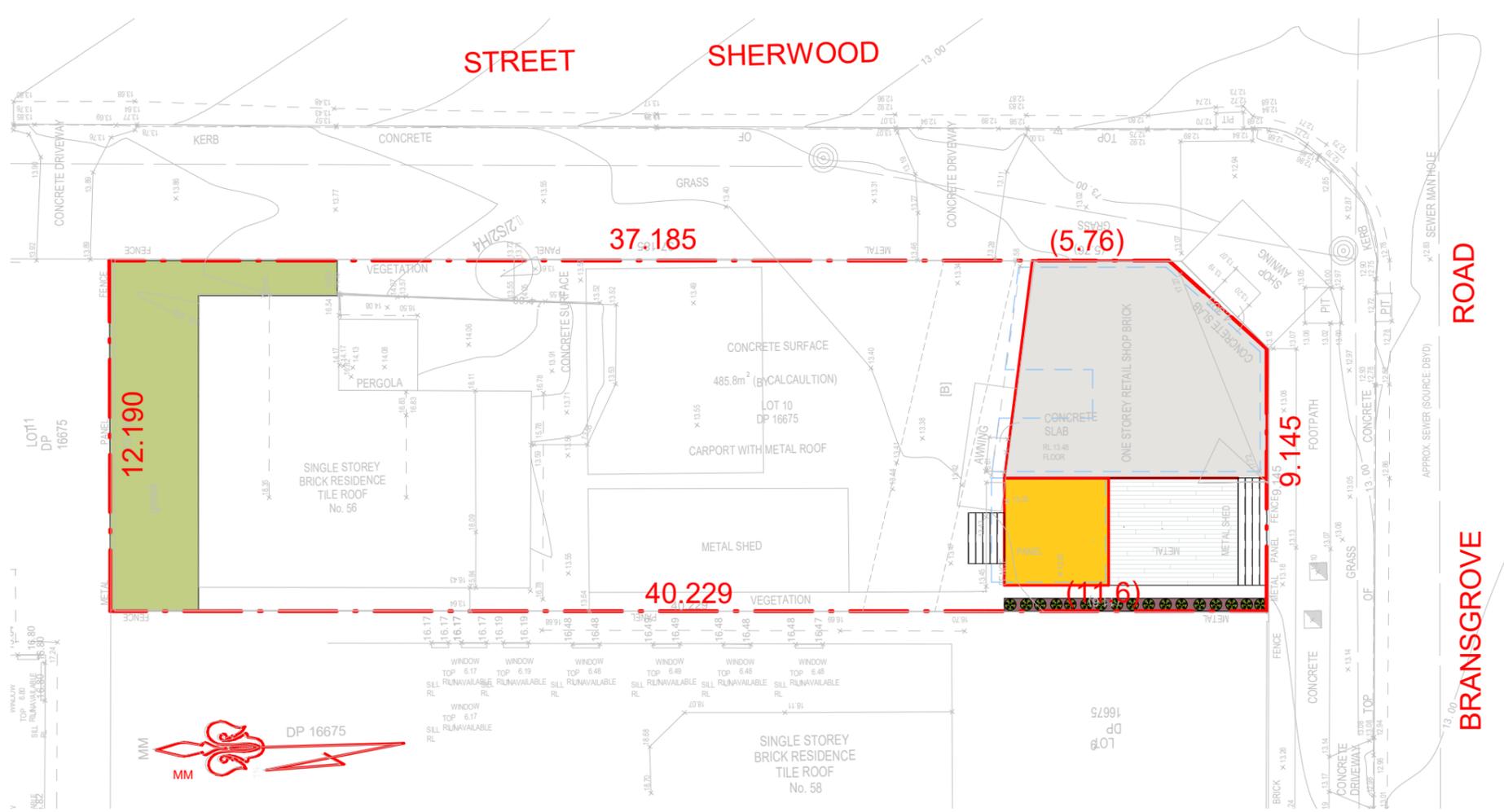
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Drawing	Erosion & Sediment control
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van
Sheet	17
Size	A3

Sequence	Version	Issued	Date
11	I	Update impervious area	22.02.21
12	J	As council letter 22.04.26	22.05.16
13	K	As council letter 22.07.19	22.08.02
14	L	Council request	22.09.08

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Landscaping legend

- Turf
- Woodchips
- Stencilled concrete finish
- Boundary line
- Brick garden edging
- Existing tree to remain
- Existing tree to be removed
- Roof/skylight/structure above
- Project envelope/footprint

Planting legend

- Groundcovers
- Yellow buttons

Landscaping plan



Planting schedule

Pictures	Scale	Common name	Latin name	Count	Description	Sun/Shade tolerance	Frost tolerance	Soil type(s)	Plant origin
		Japanese shore juniper	Juniperus conferta prostrata	17	Evergreen dense branching groundcover (0.3m x 2.5m) from Japan. Green needle-like 'conifer' leaves with a bluish tinge. Small berry like cones. Useful in groups for covering a slope or bank. Wind and salt spray tolerant. Frost and drought tolerant.	Full Sun, Part Shade	Frost hardy	Sand, Clay, Loam	Non indigenous (Japan)

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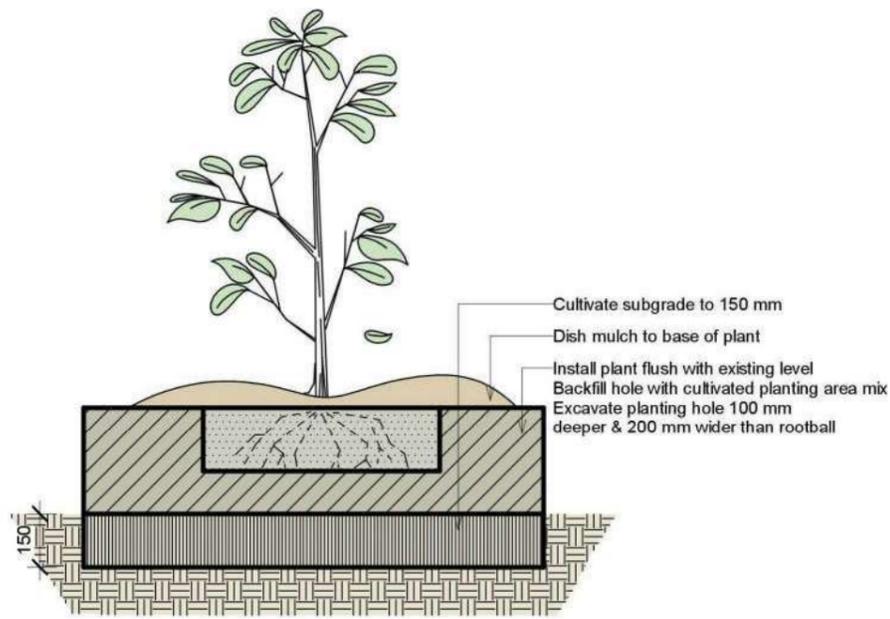
Drawing	Landscape plan
Address	56 Bransgrove Rd, Revesby NSW 2212
Project	928885068
Client	Van Sheet
Sheet	18
Size	A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
13	K	As council letter 22.07.19
14	L	Council request

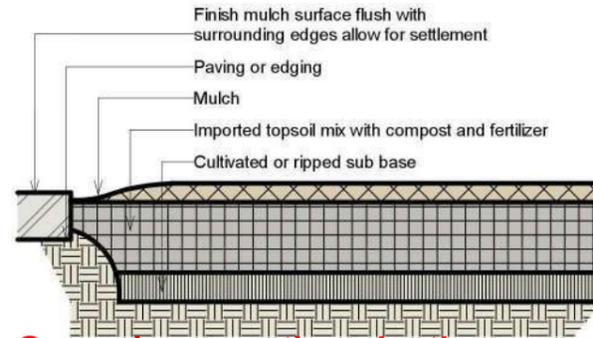
Date
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22.08.02
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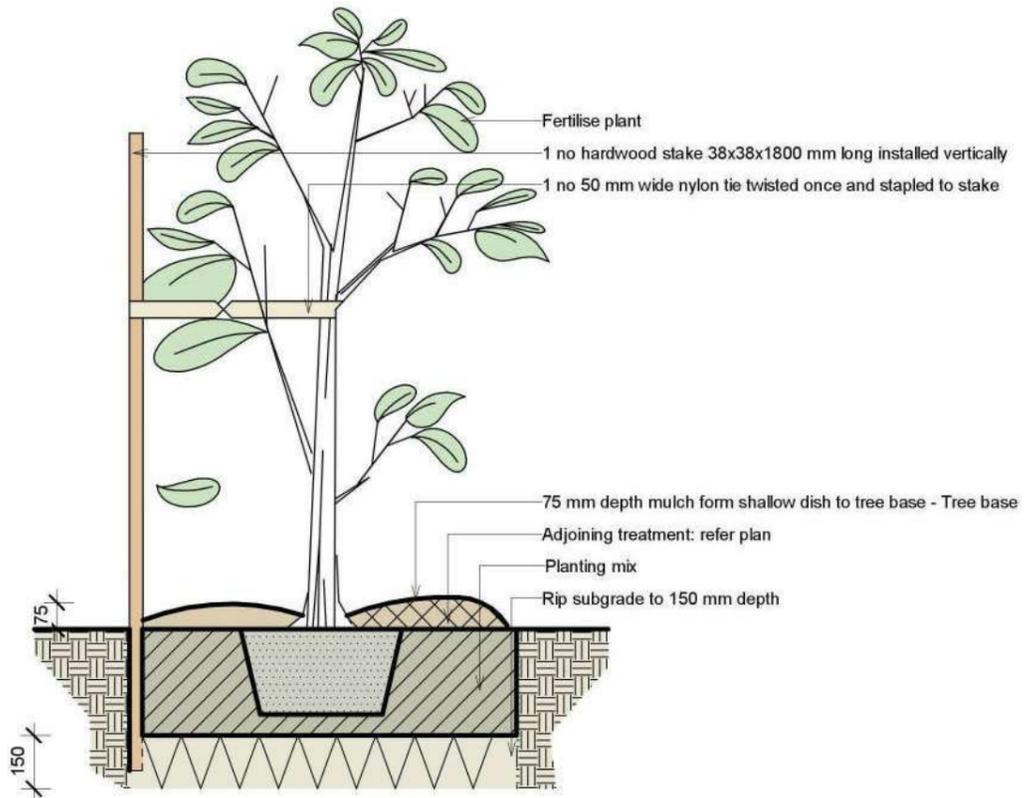




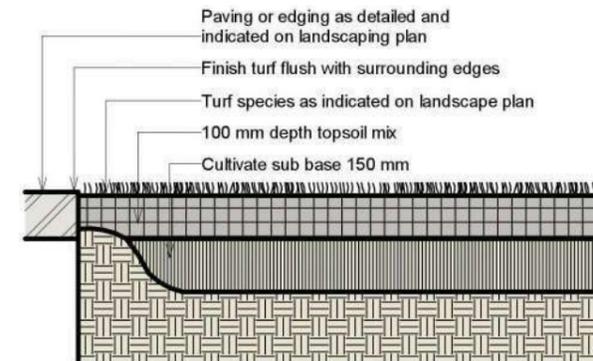
Planting in garden beds detail



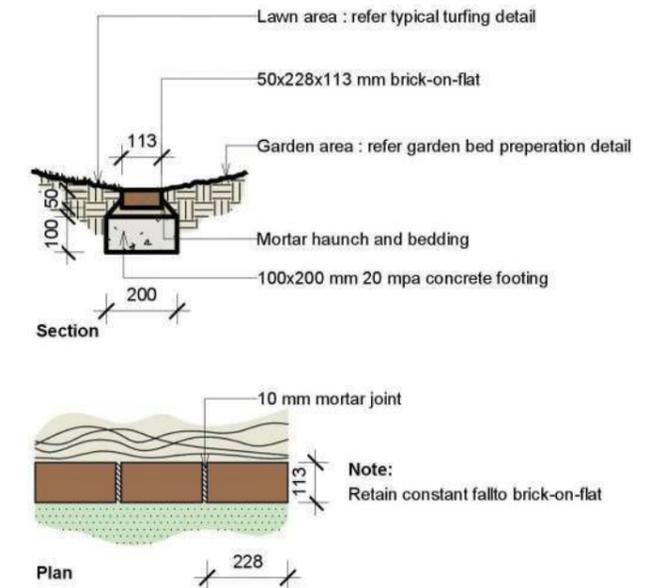
Ground preparation planting area using imported topsoil detail



15-35 litre tree planting detail



Ground preparation grassed area: turf using imported topsoil detail



Brick garden edge detail

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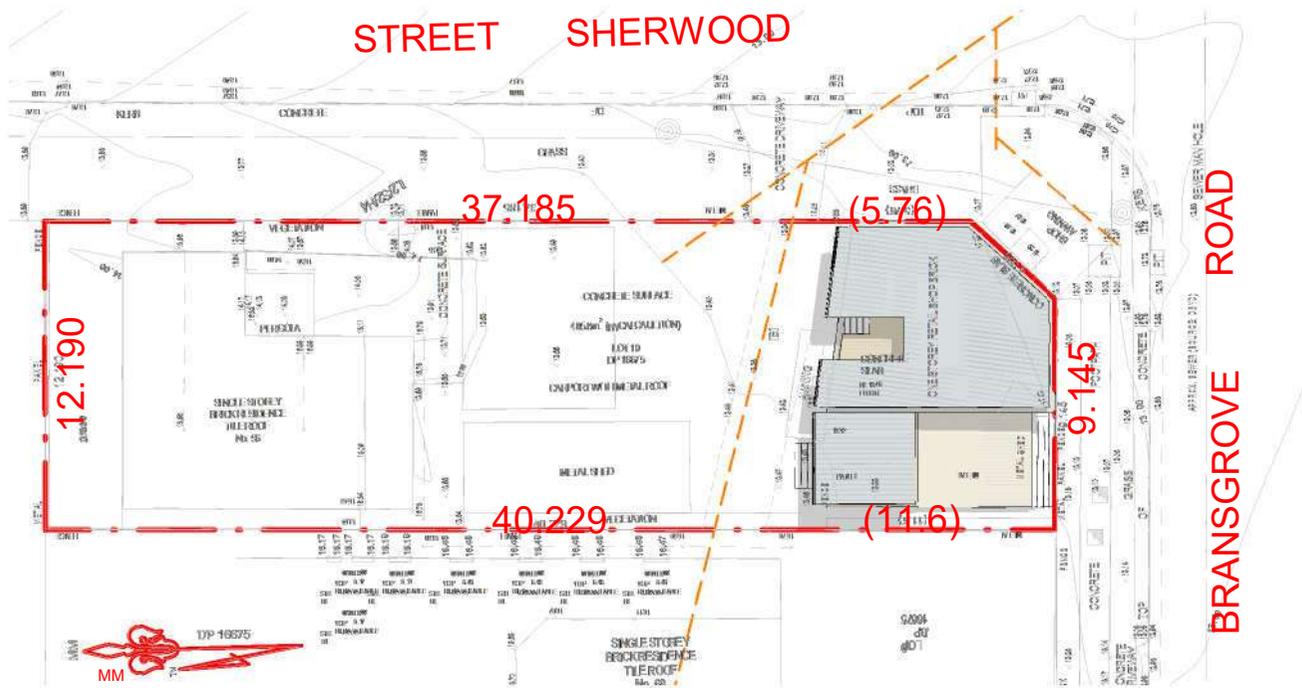
Drawing	Landscape details			
Address	56 Bransgrove Rd, Revesby NSW 2212			
Project	928885068	Client	Van	Sheet 19 Size A3

Sequence	Version	Issued
11	I	Update impervious area
12	J	As council letter 22.04.26
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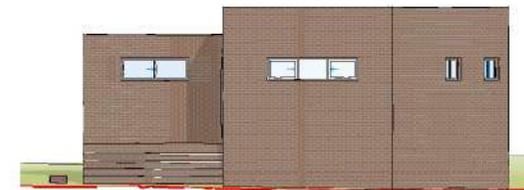
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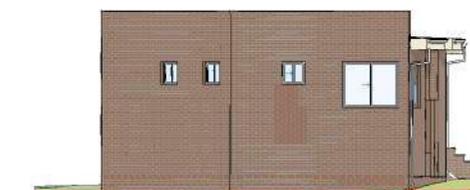
Site plan



Street elevation



Rear elevation



Side elevation 1



Side elevation 2



Overview axonometric

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Drawing	Neighbour Notification Plan				
Address	56 Bransgrove Rd, Revesby NSW 2212				
Project	928885068	Client	Van	Sheet	20
				Size	A4

Sequence	Version	Issued	Date
12	J	As council letter 22.04.26	22.05.16
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